



Appendix A: Downtown Overlay District Design Standards and Guidelines

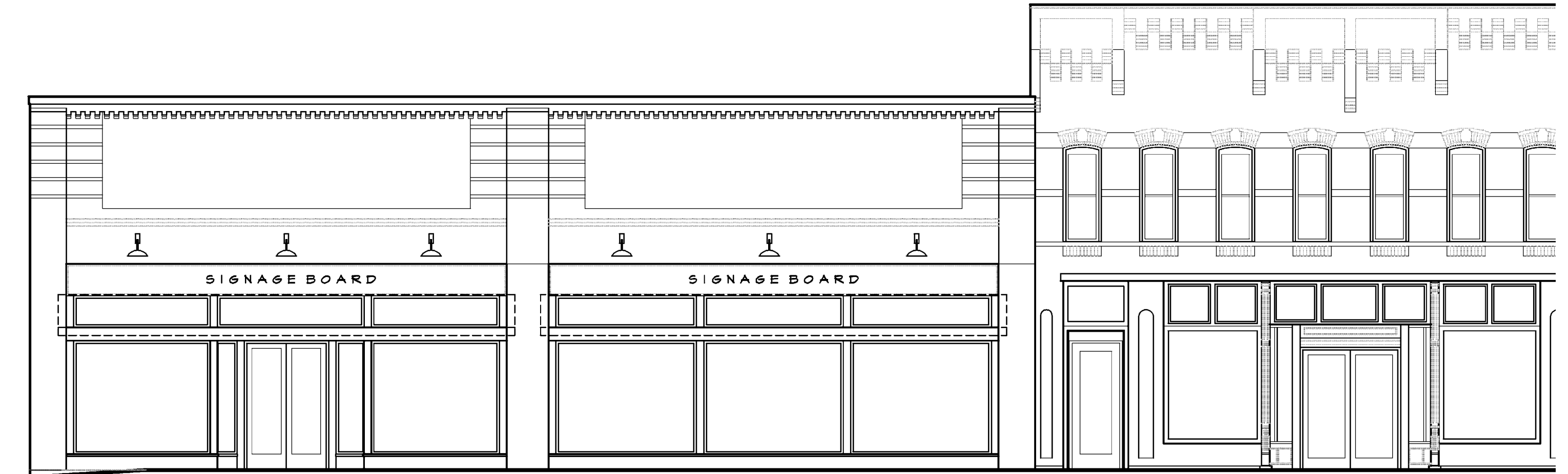


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INTRODUCTION TO THE OVERLAY

In 2005, the City of Winchester was selected as one of six Tennessee downtowns to participate in the Courthouse Revitalization Pilot Project Act. This State grant program refunds sales tax dollars generated within a defined Grant Boundary encompassing and including approximately nine-blocks around the Franklin County Courthouse Square to fund it's revitalization.

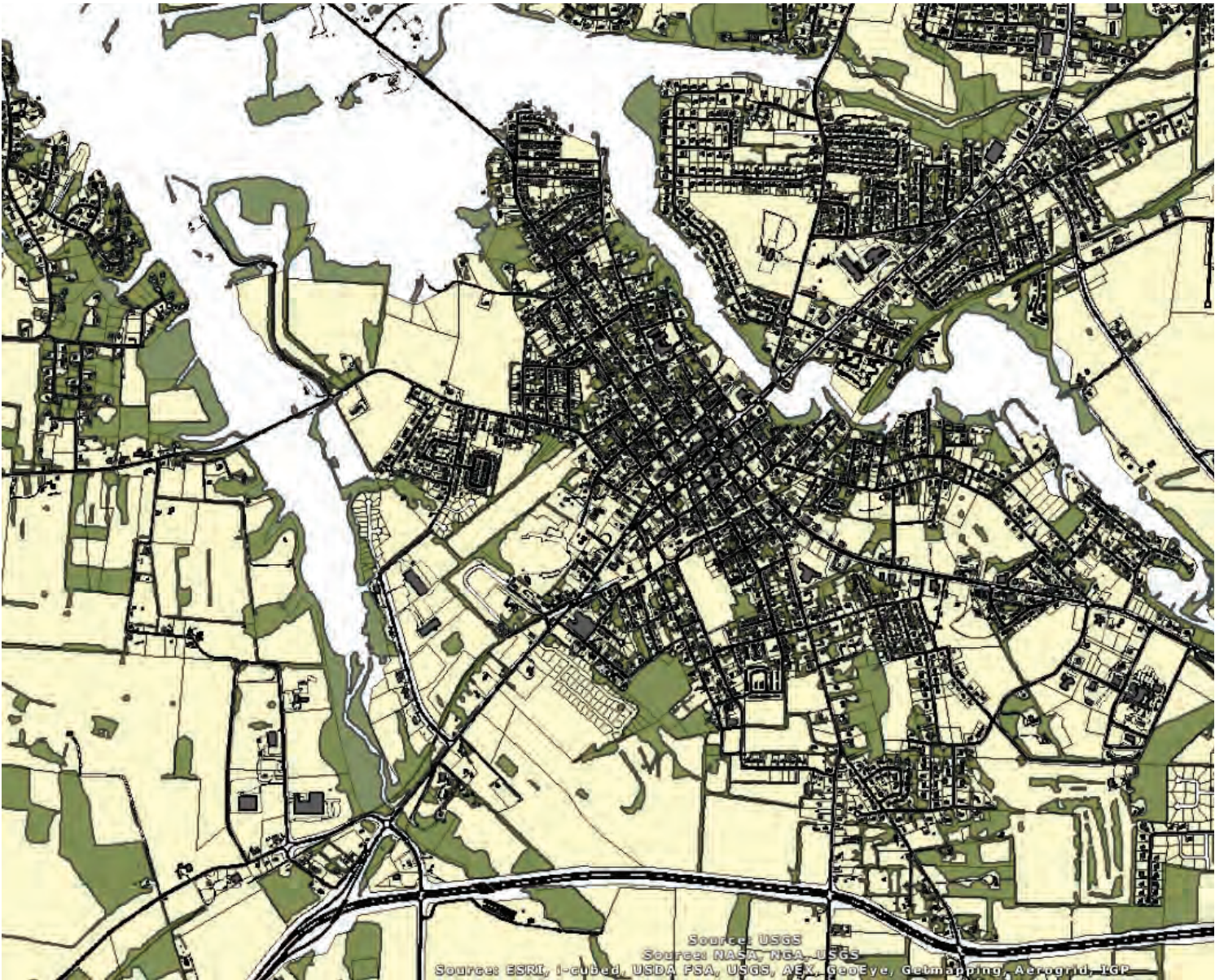
Downtown merchants, businesses and professional groups quickly organized and formed the Winchester Downtown Program Corporation (WDPC). With the corporation now in place, the City of Winchester discovered that many limitations could be overcome by having a private nonprofit corporation assume responsibility for the grant. In April of 2008, spending and administration authority were turned over to the WDPC.

In 2008, the WDPC finalized the Winchester Downtown Master Plan; a guiding document created with significant public input that established a preferred vision and list of initiatives for public and private improvements for Downtown Winchester.

In 2009, the WDPC implemented the first recommendation of the Master Plan; a Facade Improvements Program for Downtown Winchester. Using tax rebate funding, this successful program is currently revitalizing the façades of all participating buildings around the Courthouse Square and presenting a fresh identity for Downtown Winchester.

The WDPC understands that such a great amount of investment revitalizing the appearance of Downtown Winchester could be at risk from future growth and redevelopment if no path were set in place to guide the form and appearance of that growth. Therefore, in 2011 the Winchester Municipal-Regional Planning Commission adopted the Winchester Downtown Master Plan as recommended by the WDPC and enacted the following regulatory initiatives it recommended:

- Create this Downtown Overlay District for Downtown Winchester
- Develop and adopt a set of design standards and guidelines to achieve appropriate development within the overlay district
- Update signage regulations for Downtown Winchester within the overlay district
- Create a Design Review Commission to oversee and review redevelopment plans within the overlay district



The Hammer's building before renovations



The Hammer's building during Facade Improvement Program construction



Downtown buildings were in need of repair and revitalization

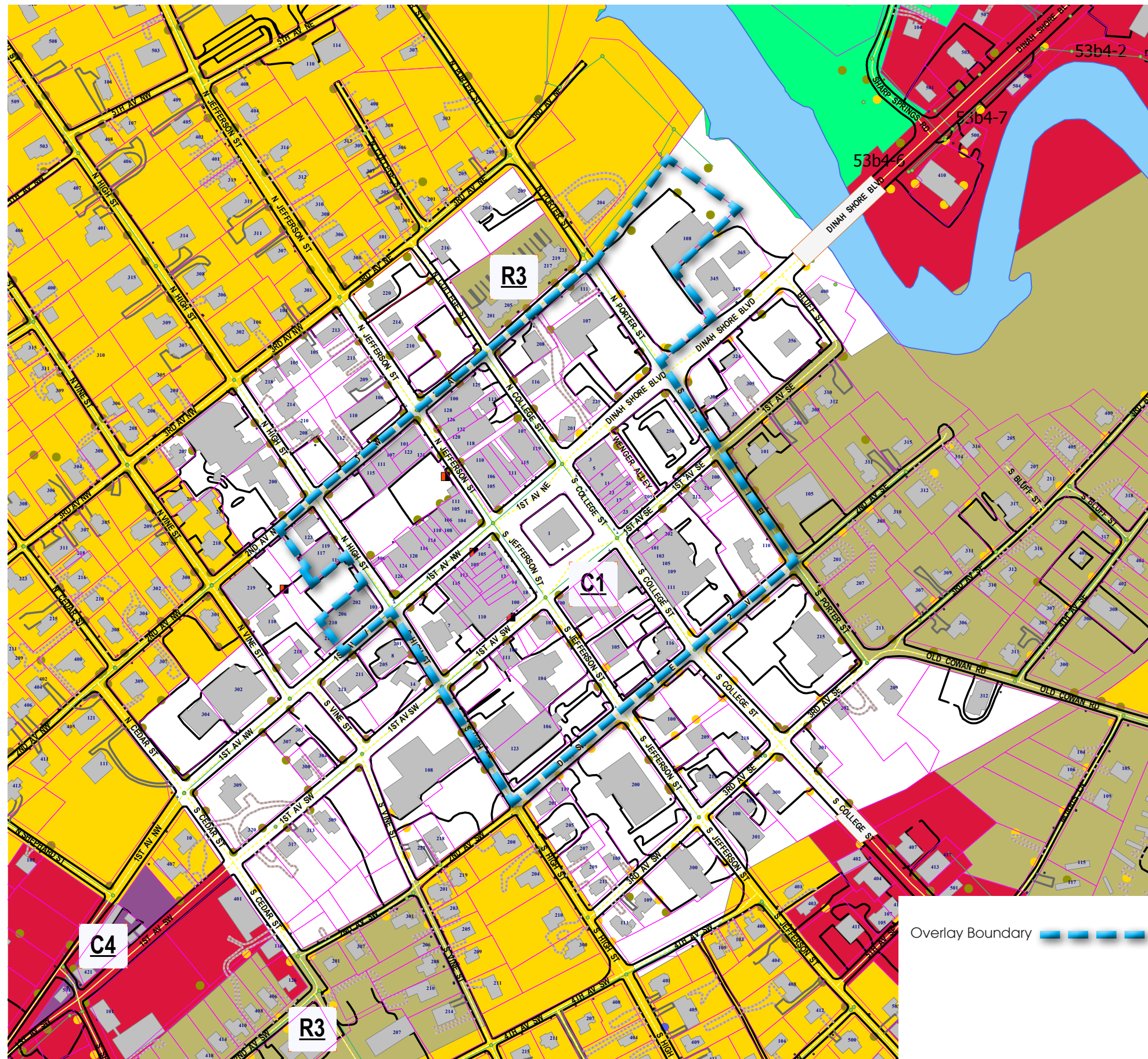


After Facade Improvement Program

DOWNTOWN OVERLAY DISTRICT

In order to maintain and improve the character of Downtown Winchester, the City of Winchester has created a Downtown Overlay District as part of the Winchester Zoning Ordinance regulated by these design standards and guidelines. The Downtown Overlay District encompasses all properties within the same boundary as the established Courthouse Revitalization Pilot Project Act Grant boundary as illustrated on this page. To ensure consistency with these design standards and guidelines, a Design Review Commission has been created to review all projects within the Downtown Overlay District which require building or signage permits.

Although properties within the Downtown Overlay District boundary are required to adhere to the design standards and guidelines, developments and renovations within the C-1 zoning district, yet outside of the Downtown Overlay District boundary, are encouraged to adhere to the design standards and guidelines where applicable.

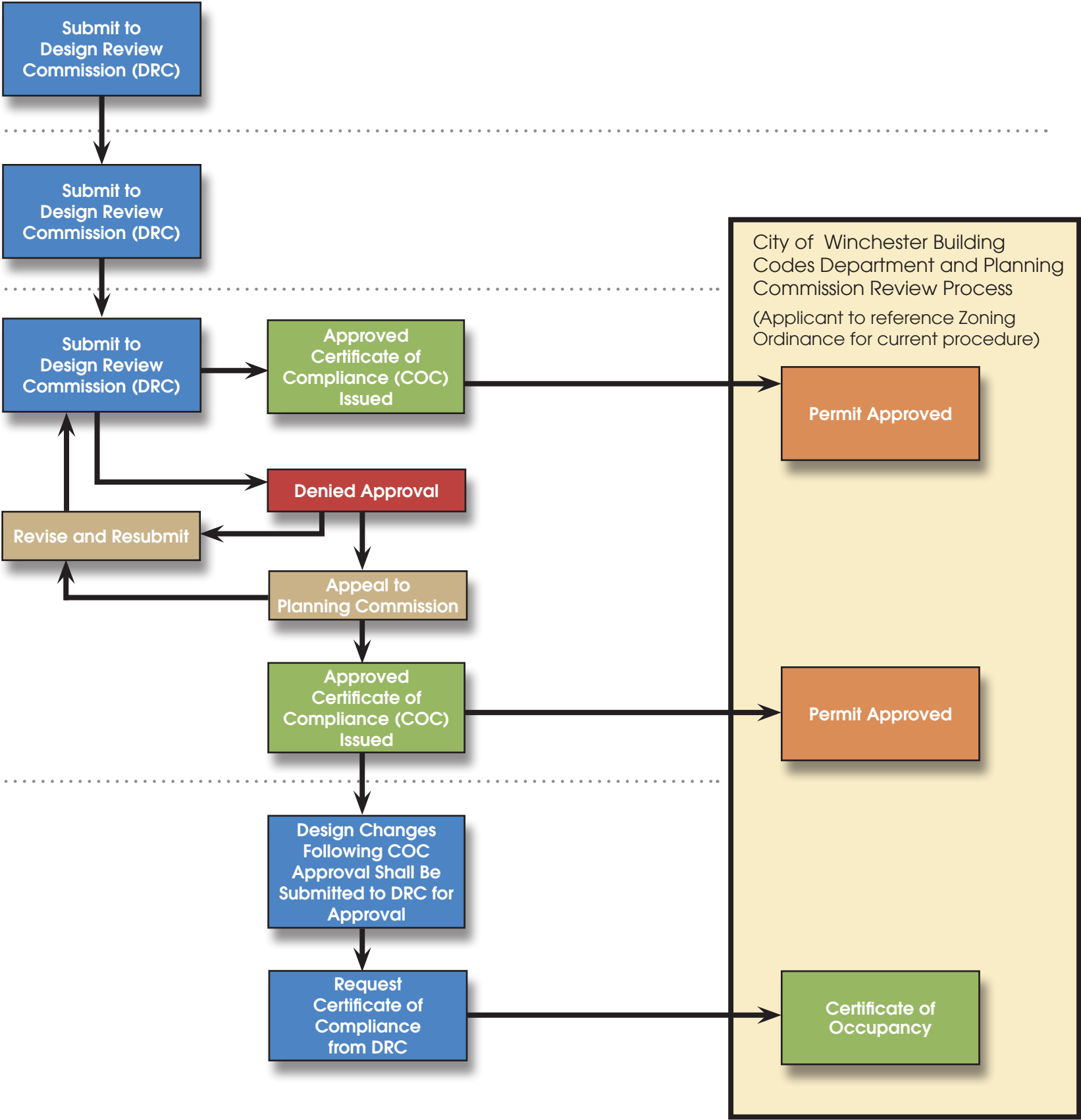


DESIGN PROCESS
SCHEMATIC DESIGN

DESIGN
DEVELOPMENT

CONSTRUCTION
DOCUMENT/PERMITTING

CONSTRUCTION



COMPLIANCE REQUIREMENTS &
PERMITTING PROCESS

The Downtown Overlay District Design Standards and Guidelines should be used by property owners, developers, architects, builders, business owners, public officials and interested citizens when considering rehabilitation, renovation, redevelopment or new construction in Downtown Winchester.

While the underlying “base” zoning continues to govern land use, these standards and guidelines are intended to regulate design, and where more restrictive regarding design, these standards and guidelines shall supersede the base zoning.

The Downtown Overlay District Design Standards and Guidelines are intended to be both prescriptive in some regards and suggestive in others. Prescriptive standards will use mandatory compliance language such as “shall” where suggestive guidelines will use more flexible language such as “should”.

Per TCA 6-54-133, the Mayor has the authority to appoint a Design Review Commission to approve or deny design submittals within the Downtown Overlay District. The Design Review Commission may allow for deviations from the guidelines for exceptional design concepts or unusual physical constraints, but the Planning Commission shall hear all appeals of the Design Review Commission’s decisions or requests for variances from the standards of the Downtown Overlay District per TCA 6-54-133.

Compliance with these standards and guidelines does not exempt any property from applicable local, state, and federal laws, codes or guidelines. Site plans and subdivision plats shall still be reviewed by the Planning Commission, and variance requests from the terms of the remainder of the zoning ordinance shall still be heard by the Board of Zoning Appeals.

The Downtown Overlay District is intended to allow existing property owners to continue using their property as-is in a “grandfathered” state of non-compliance with these standards and guidelines so long as they remain in the same state as on the day of the Overlay’s adoption.

The design standards and guidelines are structured to allow properties to develop and change over a period of time as it is recognized that requiring full compliance for limited investment may be detrimental to the desired growth and vitality of the downtown. Therefore, compliance with the Downtown Overlay District Design Standards and Guidelines is dependent on the extent of proposed modification to a property and/or improvements thereon. These levels of compliance are instigated, or “triggered” by the extent of proposed modifications and/or development.

Compliance Level 1: Minimal

- New signage to existing properties shall comply
- Awning and canopy additions to existing properties shall comply

Compliance Level 2: Moderate

- Building additions shall comply to applicable building standards and guidelines and with site standards and guidelines to the extent practicable
- Building facade renovations shall comply to building standards and guidelines

Compliance Level 3: Complete

- New structures shall comply
- Site development/redevelopment shall comply

DESIRED DOWNTOWN VISION AND CHARACTER

In 2008, the Winchester Downtown Program hosted several public meetings to gain community input and establish a desired vision for the future of Downtown Winchester. This visioning process is the cornerstone of the Winchester Downtown Master Plan which illustrates the following key elements that should be provided to make a great downtown:

- Concentrated Variety of Uses
- Density - Mixed-Use Buildings
- Clear Organization of Streets
- Well Placed Parking
- Civic Open Spaces
- Connections to Natural Places
- Street Level Activity
- Downtown Living
- Recreational Activities
- Recognition of History
- Pedestrian Oriented
- Sense of Arrival

In 2010, the Winchester Downtown Program again reached out to the public to refine the vision in greater detail as guidance for creating this set of design standards and guidelines. A vision survey was prepared, publicly presented and completed by 30 local respondents. Respondents were asked to rank a series of images as to their appropriateness of character for Downtown Winchester. Images focused on architectural character, parking, signage, streetscape elements and landscaping to guide suggestive and prescriptive standards. Some of the most critical findings are included in this section of the design standards and guidelines.



97% of survey respondents found this image to be “Very Inappropriate” for commercial and mixed-use building architecture in Downtown Winchester



80% of survey respondents found this public library image to be “Very Inappropriate” for civic and institutional building architecture in Downtown Winchester



73% of survey respondents found this image to be “Very Inappropriate” for surface parking lots in Downtown Winchester



87% of respondents found this image to be “Very Appropriate” for commercial and mixed-use building architecture in Downtown Winchester



Respondents answered 40% “Very Appropriate” and 57% “Somewhat Appropriate” to this public library image for civic and institutional architecture in Downtown Winchester



Respondents answered 60% “Very Appropriate” and 27% “Somewhat Appropriate” to this image for surface parking lots in Downtown Winchester



73% of respondents found this image to be “Very Appropriate” for transitional building architecture between denser commercial areas and residential areas in Downtown Winchester



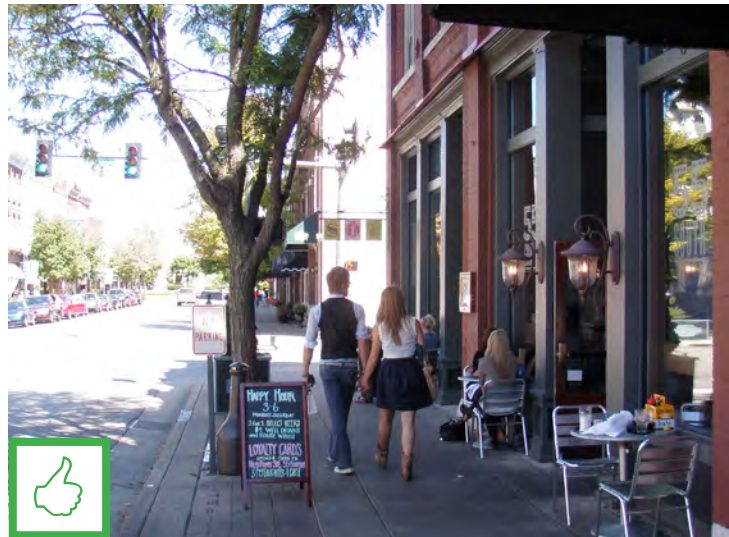
90% of respondents found this image to be “Very Appropriate” for civic and institutional building architecture in Downtown Winchester



80% of respondents found this image to be “Very Appropriate” for parking garages in Downtown Winchester



Respondents answered 23% “Very Inappropriate” and 64% “Somewhat Inappropriate” to this image for commercial streetscapes in Downtown Winchester



87% of respondents found this image to be “Very Appropriate” for commercial streetscapes in Downtown Winchester



80% of respondents found this image to be “Very Appropriate” for landscaping in Downtown Winchester

DESIRED DOWNTOWN VISION AND CHARACTER

General character preferences:

Commercial & Mixed-Use Architecture preferences trended significantly toward multi-story buildings built up-to the lot frontage. Buildings with historic architectural details and masonry scored higher than more contemporary styles and less detailed facades.

Transitional Building Architecture preferences trended towards buildings that presented a frontage with a less repetitive facade over buildings that presented multiple and identical stoops as found in row houses.

Civic & Institutional Building Architecture preferences trended towards buildings that directly address a streetscape or open space rather than those separated from the street by parking lots. Buildings with historic architectural details and materials scored higher than more contemporary styles and those with less detailed facades.

Parking Lot preferences trended significantly towards parking lots with lush landscape screening between the parking lot and the adjacent sidewalk. Parking lots directly fronting street corners were found to be inappropriate.

Parking Garage preferences trended toward structures with architectural facades matching the character of historic commercial/mixed-use buildings. Respondents also preferred landscaping at the sidewalk level.

Commercial Streetscape preferences trended toward those with street trees, cafe tables, park benches, wide sidewalks with brick paver detailing, pedestrian scaled street lamps, landscaped parking bulb-outs and buildings built up-to the lot frontage.

Signage preferences generally trended towards signs that presented a high level of craftsmanship and detailing over those with flat panels or pan formed cabinet type signs. Respondents found pole mounted signs and billboards to be inappropriate for Downtown Winchester. Respondents preferred smaller ground mounted signs for businesses in residential building types with a front yard setback.

Awning and Canopy preferences trended towards fabric awnings with traditional and simple forms and well designed graphics. Respondents preferred shed, slant and concave awning styles over barrel, convex or dome awning styles.



97% of respondents found this image to be “Very Inappropriate” for building signs in Downtown Winchester



Respondents answered 43% “Very Appropriate” and 23% “Somewhat Appropriate” to this image for building signs in Downtown Winchester



77% of respondents found this image to be “Very Appropriate” for building signs in Downtown Winchester



80% of respondents found this image to be “Very Inappropriate” for ground signs in Downtown Winchester



87% of respondents found this image to be “Very Appropriate” for ground signs in Downtown Winchester



Respondents answered 37% “Very Appropriate” and 33% “Somewhat Appropriate” to this image for awning signs in Downtown Winchester

COMMERCIAL & MIXED-USE

SITE STANDARDS AND GUIDELINES

LOT DIAGRAM

The following design standards and guidelines are intended to achieve appropriate site design for commercial and mixed-use buildings in Downtown Winchester. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive city block with buildings fronting the streets and parking located internal to the block to the rear of buildings.

Build-to Zone

- New buildings should be built with fronting facades to align with adjacent historical facades
- Buildings shall be built to within 5 feet of the pedestrian zone along lot frontage, including the side dimension of a corner lot
- Where special lot conditions exist (such as frontage along a steep grade), the build-to zone may be increased to allow for a split sidewalk, site steps, accessible ramps, etc.

Pedestrian Zone (see pg. 11)

- A 10 feet minimum width is required along primary streets
- An 8 feet minimum width is required along secondary streets

Access & Parking (see pg. 12)

- Driveway access from primary streets is discouraged
- On corner lots, driveway access may only be provided from either a secondary street or an alley
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street
- A point for vehicle access onto a street shall not exceed 24 feet in width
- The sharing of parking lots, joint access drives and cross access easements is highly encouraged
- Off-street parking shall not be permitted in front of a building

Landscaping & Screening (see pg. 13)



The following design standards and guidelines are intended to achieve appropriate site design for transitional buildings in Downtown Winchester. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive city block with buildings fronting the streets and parking located internal to the block to the rear of buildings. The intent of transitional development is to transition between the larger scale of commercial and mixed-use buildings and the surrounding residential areas with an intermediate scaled development. As this relates to the site standards and guidelines, transitional development has a deeper build-to zone that allows for stoops, porches and front yard landscaping between the building and the pedestrian zone.

Build-to Zone

- New buildings should be built with fronting facades to align with adjacent historical facades
- Buildings shall be built to within 10 feet of the pedestrian zone along lot frontage, including the side dimension of a corner lot
- Where special lot conditions exist (such as frontage along a steep grade), the build-to zone may be increased to allow for a split sidewalk, site steps, accessible ramps, etc.

Pedestrian Zone (see pg. 11)

- An 8 feet minimum width is required along primary streets
- An 8 feet minimum width is required along secondary streets

Access & Parking (see pg. 12)

- Driveway access from primary streets is discouraged
- On corner lots, driveway access may only be provided from either a secondary street or an alley
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street
- A point for vehicle access onto a street shall not exceed 24 feet in width
- The sharing of parking lots, joint access drives and cross access easements is highly encouraged
- Off-street parking shall not be permitted in front of a building

Landscaping & Screening (see pg. 13)



CIVIC & INSTITUTIONAL SITE GUIDELINES AND STANDARDS

LOT DIAGRAM

The following design standards and guidelines are intended to achieve appropriate site design for civic and institutional buildings in Downtown Winchester. The diagram presented on this page illustrates an example site design for a single lot. Generally, individual lots should be designed as a contributing part of the overall cohesive city block with buildings fronting the streets and parking located internal to the block to the rear of buildings. It is appropriate for civic and institutional buildings to be setback greater distances from the street to create appropriate lawns, landscaped open spaces and plazas within Downtown Winchester.

Build-to Zone

- Civic and institutional buildings are not restricted by a build-to zone within the overlay district
- Setbacks shall be regulated by applicable sections of the Winchester Zoning Ordinance

Pedestrian Zone (see pg. 11)

- An 8 feet minimum width is required along primary streets
- An 8 feet minimum width is required along secondary streets
- Wider pedestrian zones and/or deeper building setbacks should be considered at main entries to buildings with large assembly occupancies

Access & Parking (see pg. 12)

- Driveway access from primary streets is discouraged
- On corner lots, driveway access may only be provided from either a secondary street or an alley
- On interior lots, driveway access should be provided from either a secondary street or an alley; for special interior lot conditions, a single driveway access point may be provided to a primary street
- A point for vehicle access onto a street shall not exceed 24 feet in width
- The sharing of parking lots, joint access drives and cross access easements is highly encouraged
- Off-street parking shall not be permitted in front of a building

Landscaping & Screening (see pg. 13)

- Landscaped open spaces are appropriate between buildings and the pedestrian zone
- Low site walls and decorative fencing are appropriate along lot frontages





Although a planting strip has been provided between the curb and sidewalk, the lack of street trees and shade discourages pedestrians from using this sidewalk in warmer months



These street trees, planted in structural soil with tree grates, will grow to provide a beautiful pedestrian streetscape that offers shade in warmer months and seasonal color in autumn and spring



This "split sidewalk" is an appropriate way to transition steeper grades along storefronts and provide accessible entry; note that a wider pedestrian zone than typical is needed for this application



This suburban sidewalk provides little motivation for people to choose walking vs. driving to their destination and is inappropriate for a downtown setting



Sidewalk café dining is encouraged in Downtown Winchester where sidewalk widths allow unimpeded pedestrian travel; note the use of protective bollards where on-street parking is not provided



This urban sidewalk is really not a sidewalk at all; it is a continuous driveway ramp that tells people cars are more important than pedestrians along this zone; note the parked vehicle blocks the sidewalk



This commercial/residential pedestrian zone provides an appropriate landscape strip with street trees and decorative street lighting; note the sidewalk continues uninterrupted across the driveways



Decorative street lamps, waste receptacles, bicycle racks and park benches are all encouraged within the pedestrian zone; this well-designed downtown destination directory is a good idea for wayfinding

PEDESTRIAN ZONE

The pedestrian zone is defined as the area between the back edge of the street curb (or edge of pavement where no curb is present) and the build-to zone for each lot. The pedestrian zone shall be provided regardless of the location of the right-of-way. Where sufficient distance does not exist between the existing street edge and the right-of-way for the sidewalk; the sidewalk (or a portion of the sidewalk) shall be constructed on the lot and a public access easement shall be granted.

Elements designed for and placed within the pedestrian zone should be primarily focused on providing a safe and pleasant experience for pedestrians. Such elements may include sidewalks, street trees, landscaping strips, street lamps, waste receptacles, park benches, outdoor café seating, way-finding signage and utilities.

Although certain pedestrian zone elements are not necessarily the responsibility of property developers or owners, they are included in the design standards and guidelines to assist the City and Downtown Program in making appropriate decisions as they implement future streetscape improvement programs.

All design standard and guideline recommendations made below are subject to review and approval by the governmental agencies having jurisdiction over any particular public right-of-way. These may include the State of Tennessee (TDOT), Franklin County and the City of Winchester.

The Downtown Overlay District standards and guidelines for the Pedestrian Zone are intended to complement the existing standards of Article III, Section 3.080 of this ordinance regarding obstruction to vision at street intersections.

- Commercial and mixed-use lots fronting a public right-of-way shall have a continuous sidewalk no less than 8 feet in width along the entire lot frontage
- Transitional and civic and institutional lots fronting a public right-of-way shall have a continuous sidewalk no less than 5 feet in width along the entire lot frontage
- Deciduous shade-producing street trees should be planted within pedestrian zones spaced no further than 50 feet on center, either in an appropriately sized planting strip (4 feet minimum width) or in tree wells within the sidewalk
- Street lamps, sign poles, bollards and waste receptacles shall match those of the TDOT Courthouse Square Streetscape Improvement program
- All improvements shall meet applicable accessibility requirements
- Sidewalks and crosswalks should include textured and/or colored materials that differentiate them from vehicular travel ways
- Utility services, meters, boxes, etc. should be located to the rear of buildings or underground where practicable

PARKING & ACCESS

Automobile traffic is vital to a prosperous downtown. Visitors arrive by vehicle and need to find their way to destinations without experiencing unnecessary confusion or delays. However, vehicles are only beneficial to a downtown if there are passengers in them; slowly driving by or stopping at traffic signals and glancing into the storefronts. Once the vehicle is parked and the visitors are on foot, the vehicle becomes a liability to the success of the downtown and competes with limited valuable real estate that could be used for business enterprise or public benefit.

The Downtown Overlay District standards and guidelines for parking and access are intended to complement the existing off-street parking and access control requirements within this ordinance. Unless otherwise specified in these design standards and guidelines, parking and access control shall be regulated by Article IV, Section 4.010 and Article III, Section 3.090 of this ordinance, respectively.

- Off-street parking should be located internal to the block and not located along the street frontage
- Parking lots shall not be located in the front yard; parking lots should be located in the rear yard
- A single parking lot aisle may be located in the side yard for interior lots
- Parking lots shall not be located at street corners
- Parking lots shall be landscaped according to the Landscape & Screening section of these design standards and guidelines
- Street frontage facades of parking garages shall conform to the design standards and guidelines for Commercial and Mixed-use Buildings
- Parking garages directly fronting primary streets shall have a 40 feet minimum liner building between parking garage and the property line along that street
- Shared parking areas and cross-access easements are encouraged to improve access control and reduce curb cuts along streets
- Driveways shall have appropriate access aprons that transition street grade to sidewalk grade and maintain an uninterrupted sidewalk across the driveway
- On-street parking (parallel and/or angled parking) is encouraged as a means of providing front door convenience parking



This surface parking lot is inappropriately located at a street corner and lacks appropriate landscape screening



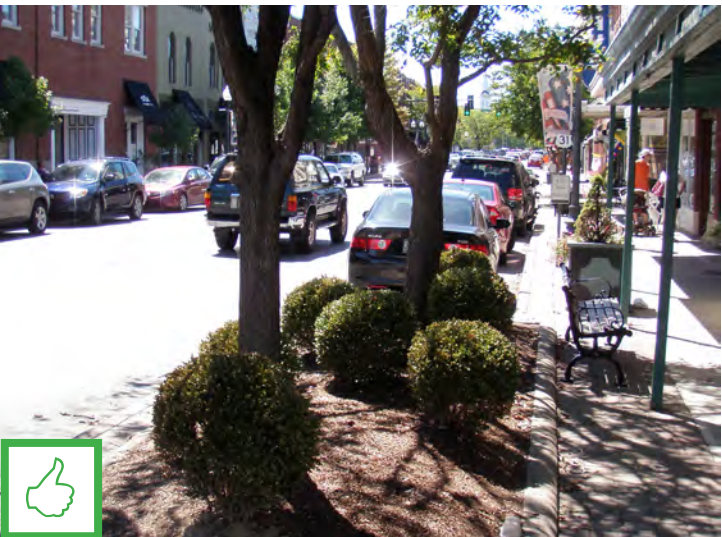
Head-in parking along street frontage is inappropriate for Downtown Winchester; note how the vehicles block the sidewalk and force pedestrians to unsafely walk in the street



Parking lots located between a street and a building are inappropriate for a pedestrian oriented downtown; this suburban configuration places the priority on the automobile, not the pedestrian



This parking garage has been setback from the property line a sufficient distance to provide opportunity for a future liner building fronting the street; this is an appropriate development phasing strategy



On-street parking is necessary to provide convenience parking for a prosperous downtown business district; note the landscaped bulb-outs that calm traffic speeds and shorten pedestrian crossings



This surface parking lot is appropriately located to the rear of a building fronting a primary street and is accessed from a secondary street; note the appropriate location of utilities and loading in the alley



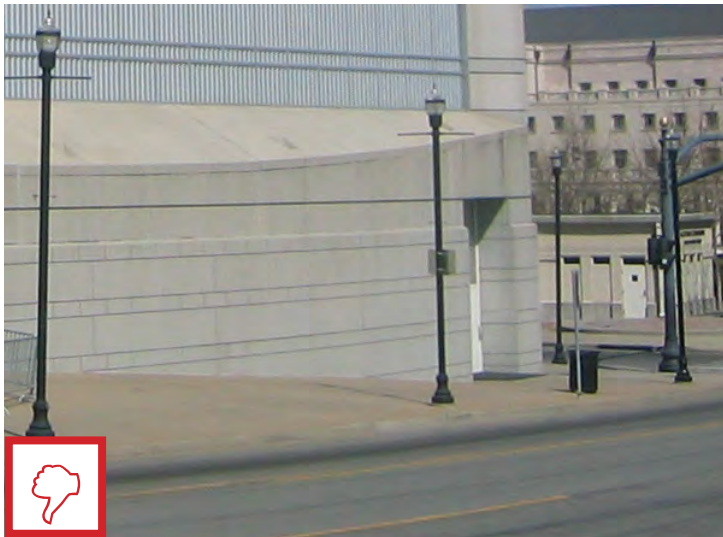
This parking garage facade fronting the street is appropriately designed to compliment the architecture of a historic downtown; note the architectural facade turns the corner to address public sight lines



This parking access apron appropriately places the priority on pedestrians by continuing the sidewalk uninterrupted across the driveway



This drive-thru canopy is appropriately located to the rear of a building fronting a primary street and is accessed from a secondary street; required queuing distances should stay clear of the sidewalk



This blank wall inappropriately creates a harsh edge for pedestrians and lacks appropriate landscape treatment; note the lack of shade that discourages walking in warmer months



This blank wall has been appropriately landscaped to soften the streetscape and encourage pedestrian activity; note the variety of plant species and levels of plant heights



This parking lot lacks appropriate landscape area width and lacks any landscaping to screen the parking lot from the street



This parking lot is appropriately screened with a wide landscape area that includes both flowering shrubs and trees; note the tree species and shape provides low limbs without obstructing the sidewalk



This dumpster is inappropriately located along the street edge and lacks an appropriate screen wall enclosure



This dumpster area is appropriately located to the rear of the building and enclosed with a screen wall; note the screen wall materials are coordinated with the building



This storefront appropriately uses finely crafted planter boxes to express individual character and soften the streetscape; note the plantings do not impede views into the storefront



These concrete urns appropriately dress-up this storefront and add seasonal color and interest to the streetscape; note that these urns do not impede pedestrian travel on the sidewalk

LANDSCAPING & SCREENING

The Downtown Overlay District standards and guidelines for landscaping and screening are intended for private and publicly owned lots. Landscaping within the public right-of-way is regulated by the standards and guidelines for Pedestrian Zones.

- Dumpsters and garbage/recycling containers shall be screened from view with a gated enclosure no less than one feet in height taller than the container being screened; enclosures shall be constructed of opaque materials that compliment the building(s) being served
- Ground mounted utility cabinets, meters and transformers located in front yards shall be screened from public view with opaque walls and/or landscaping
- Blank building walls (no windows or doors) fronting streets which are setback a minimum of 4 feet from the property line shall be landscaped to reduce the impact of the blank wall
- Parking lots, portions of parking lots, driveways and loading zones fronting streets and public open spaces shall have a landscape buffer zone no less than 6 feet wide measured from the edge of parking lot pavement to the fronting property line; the landscape zone shall be planted with a minimum of one tree per every 30 feet on-center (2 inch minimum caliper, 6 feet minimum height) and continuous understory shrubs expected to mature no greater than 30 inches in height from grade; the landscape buffer zone shall only be broken by driveways and pedestrian passageways
- Parking lots having more than 35 spaces or greater than 12,000 square feet in area shall have interior landscaping islands planted with no less than one canopy tree per 15 parking spaces (2 inches minimum caliper, 6 feet minimum height)
- Hedge rows and wood picket and iron fences (42 inches maximum height) are appropriate in front yards no less than 10 feet deep of civic and institutional, and transitional building types; front yard fences and hedges shall be no less than 18 inches away from the sidewalk or fronting property line
- Chain link fencing is not appropriate where visible from a public right-of-way with the exception of rear yards of residential properties
- Building owners and/or tenants of zero-lot line buildings fronting sidewalks no less than 8 feet wide are encouraged to maintain appropriately scaled landscape planters along building frontages; planters and landscaping materials shall not encroach more than 3 feet from the building facade into the sidewalk and shall be no greater than 4 feet in height

COMMERCIAL & MIXED-USE

BUILDING STANDARDS AND

GUIDELINES

EXAMPLE BUILDING DIAGRAM

The following standards and guidelines are intended to achieve appropriate building design for commercial and mixed-use buildings in Downtown Winchester. The diagram presented on this page illustrates examples of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

Height of Building

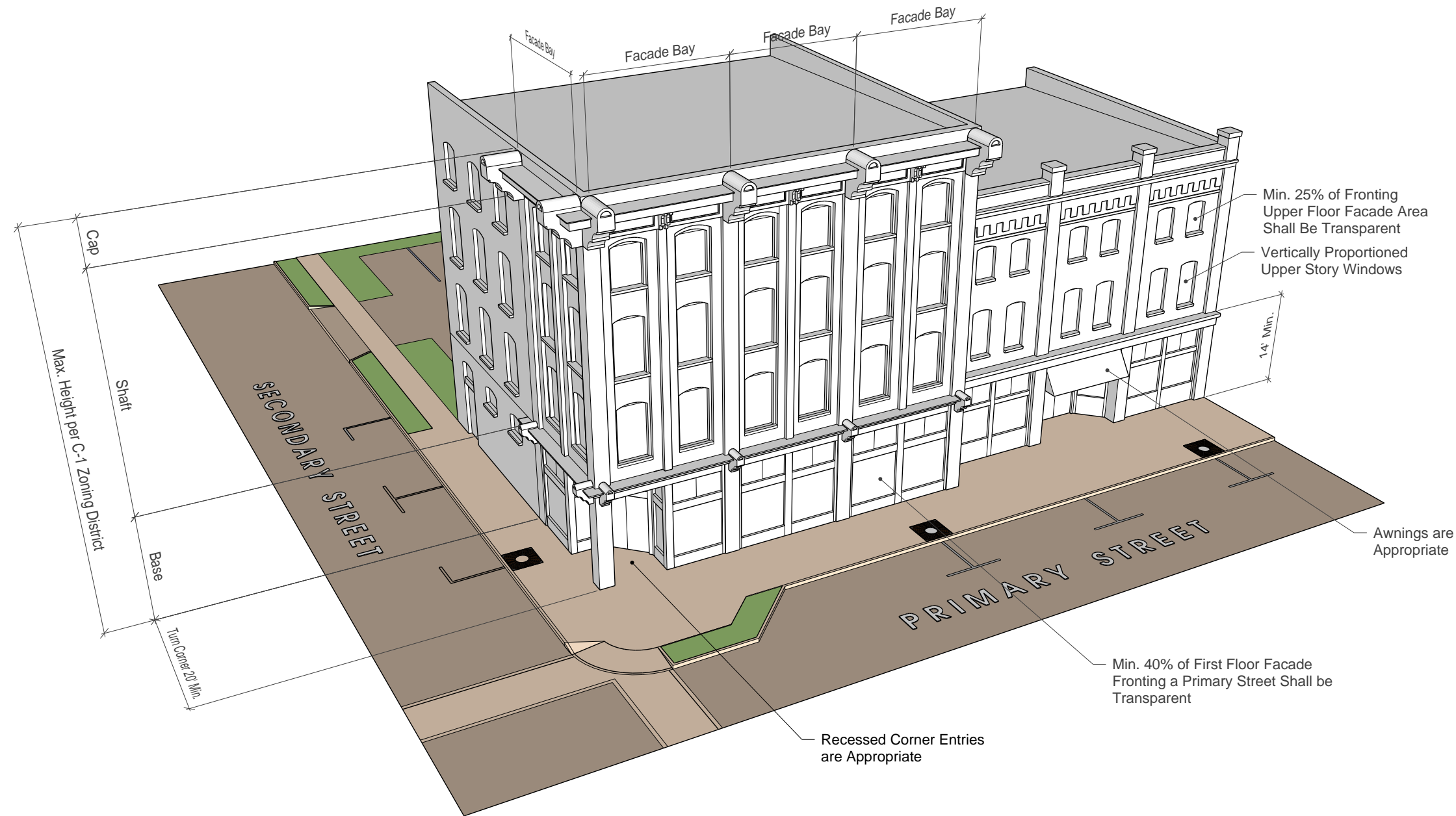
Building height shall conform to the requirements of the C-1, Central Business District as specified in Article V, Section 5.052.1.

- All lot frontage building walls, including the side dimension of a corner lot, shall be a minimum of 16 feet in height
- For multiple story buildings, the minimum first floor height shall be 14 feet from finished floor to finished floor

Street Fronting Facades

100% of the facade width of any interior lot building shall conform to the facade standards and guidelines. For corner lot buildings fronting both a primary and secondary street, 100% of the width of any facade fronting a primary street shall conform to the facade standards and guidelines and no less than 20 feet of continuous facade width measured from the fronting corner of the building along the secondary street shall comply.

- Multi-story building facades should be architecturally detailed to present a base, shaft and cap; architectural details may include such elements as water tables, pediments, cornices, material variations and color variations
- Building facades shall be articulated into distinct facade bays of no more than 25 feet in width. Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and colors
- A minimum of 40% of the ground floor facade area shall be transparent (facade area includes parapet walls and roof forms for single story buildings)
- A minimum of 25% of the facade area of upper floors shall be transparent (facade area includes parapet walls and roof forms)



ROOF TYPES



This asphalt shingled mansard type roof is inappropriate for Downtown Winchester commercial buildings; note inappropriate use of vinyl siding, residential vinyl windows and inappropriate signage

WINDOWS & DOORS



These horizontal proportioned windows and residential paneled door are inappropriate for commercial buildings; note the historic storefront has been inappropriately bricked-over

MATERIALS



These historic buildings have been inappropriately resurfaced and detailed with E.I.F.S (Exterior Insulation Finishing System); E.I.F.S and stucco are inappropriate building materials for Downtown Winchester



These simple parapet walls with stone caps are appropriate for Downtown Winchester



This appropriate office facade includes vertically proportioned windows with transoms, an appropriate door height and appropriate storefront detailing



Simple painted brick is appropriate for Downtown Winchester



This street wall illustrates a variety of ways to appropriately detail parapet walls with cornices and with stone detailing; note the appropriate slight variations in building height from one building to another



Recessed storefront entries with fully glazed doors are appropriate for Downtown Winchester; note the transom windows continue across the facade above the recessed entry



Painted brick, unpainted brick and cut stone are all appropriate for Downtown Winchester

COMMERCIAL & MIXED-USE
BUILDING STANDARDS AND
GUIDELINES

Street Fronting Facades (continued)

- Storefront window systems shall be no wider than 25 feet without being articulated by another building element
- Maximum sill height for ground floor windows shall be no more than 3 feet above adjacent finished grade
- Upper floor windows should be vertically proportioned
- Reflective glass and dark tinted glass are discouraged
- A minimum of one building entrance shall be provided fronting the pedestrian zone and accessed from a public sidewalk
- All doors fronting pedestrian zones should be fully glazed; exceptions for ground floor office and residential uses and for secondary doors accessing stairwells and emergency egresses may be permitted

Roofs

- All sloped roofs shall be concealed from view with a parapet wall
- False mansard type roofs and overhanging fascia type roofs shall not be permitted
- Pre-engineered metal building roofs shall be concealed by a parapet wall fronting all streets

Materials (refer to pages 20-21 for complete listing)

- Materials, colors and textures should be compatible with historic buildings surrounding the Courthouse Square in Downtown Winchester
- Vinyl siding shall not be permitted
- Metal siding, stucco and E.I.F.S. (Exterior Insulation Finishing System) are not permitted materials for cladding building walls and shall be limited to architectural detailing
- Historically detailed metal building panels are permitted as they are currently used on historic buildings in Downtown Winchester

Awnings and Canopies

- Awnings and canopies may only be applied over building storefronts and entrances; upper story applications are not permitted
- Awning styles and shapes should be compatible with the character of the building and neighboring buildings
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are permitted
- Internally illuminated or “glowing” awnings are not permitted

TRANSITIONAL BUILDING STANDARDS AND GUIDELINES

EXAMPLE BUILDING DIAGRAM

The following standards and guidelines are intended to achieve appropriate building design for transitional buildings in Downtown Winchester. The diagram presented on this page illustrates examples of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

Height of Building

Building height shall conform to the requirements of the C-1, Central Business District as specified in Article V, Section 5.052.1.

- It is recommended that maximum building heights be limited to 3 stories where fronting adjacent residential zoning districts to provide an appropriate transition in scale to adjacent residential lots

Street Fronting Facades

100% of the facade width of any interior lot building shall conform to the following facade standards guidelines. For corner lot buildings fronting both a primary and secondary street, 100% of the width of any facade fronting a primary street shall conform to the following facade standards and guidelines and no less than 20 feet of continuous facade width measured from the fronting corner of the building along the secondary street shall comply.

- Building facades shall be articulated into distinct facade bays of no more than 25 feet in width. Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and colors
- A minimum of 40% of the ground floor facade area for commercial uses shall be transparent (facade area includes parapet walls and roof forms for single story buildings)
- A minimum of 25% of the facade area of upper floors shall be transparent (facade area includes parapet walls and roof forms)
- Porches and stoops are appropriate
- Awnings are appropriate for ground floor commercial uses



ROOF TYPES



This metal, overhanging false mansard roof is inappropriate for downtown Winchester; note also the inappropriate use of painted concrete block as a facade material



Steep sloped roofs with parapet walls are appropriate for transitional buildings; note the appropriate outdoor café area surrounded by a low brick wall



This street wall illustrates a variety of ways to appropriately detail roof forms for townhome transitional buildings; note the appropriate use of dormers and a corner porch and tower element at the street corner

WINDOWS & DOORS



These round-topped storefront windows and residential scaled door are inappropriate for commercial ground floors



This appropriate commercial storefront presents an appealing streetscape for pedestrians, note the appropriately proportioned windows on the upper floor



Front porches and stoops are appropriate entry elements for transitional buildings; note the appropriate window shutters that are sized to match the window widths when closed

MATERIALS



E.I.F.S. (Exterior Insulation Finishing System) is an inappropriate building facade material for Downtown Winchester



This streetscape illustrates appropriate use of brick and cementitious lap siding as an appropriate facade material for transitional buildings



This streetscape illustrates an appropriate variety of facade materials that help define the articulated facade bays of the individual townhomes

TRANSITIONAL BUILDING STANDARDS AND GUIDELINES

Street Fronting Facades (continued)

- Storefront window systems shall be no wider than 25 feet without being articulated by another building element
- Maximum sill height for commercial ground floor windows shall be no more than 3 feet above finished floor
- Windows of transitional buildings should be vertically proportioned
- Reflective glass and dark tinted glass are discouraged
- A minimum of one building entrance shall be provided fronting the pedestrian zone and accessed from a public sidewalk
- All doors fronting pedestrian zones should be fully glazed; exceptions for ground floor office and residential uses and for secondary doors accessing stairwells and emergency egresses may be permitted

Roofs

- Sloped roofs are appropriate and may be concealed from view with a parapet wall
- False mansard type roofs and overhanging fascia type roofs shall not be permitted
- Pre-engineered metal building roofs shall be concealed by a parapet wall fronting all streets

Materials (refer to pages 20-21 for complete listing)

- Materials, colors and textures should be compatible with historic buildings surrounding the Courthouse Square in Downtown Winchester
- Vinyl siding shall not be permitted; wood or cementitious (Hardi, etc.) siding is recommended
- Metal siding, stucco and E.I.F.S. are not permitted materials for cladding building walls and shall be limited to architectural detailing

Awnings and Canopies

- Awnings and canopies may only be applied over building storefronts and entrances; upper story applications are not permitted
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are permitted
- Awning styles and shapes should be compatible with the character of the building and neighboring buildings
- Internally illuminated or “glowing” awnings are not permitted

CIVIC & INSTITUTIONAL BUILDING STANDARDS AND GUIDELINES

EXAMPLE BUILDING DIAGRAM

The following standards and guidelines are intended to achieve appropriate building design for civic and institutional buildings in Downtown Winchester. The diagram presented on this page illustrates examples of appropriate building design, massing and elements. It is not intended to regulate stylistic design.

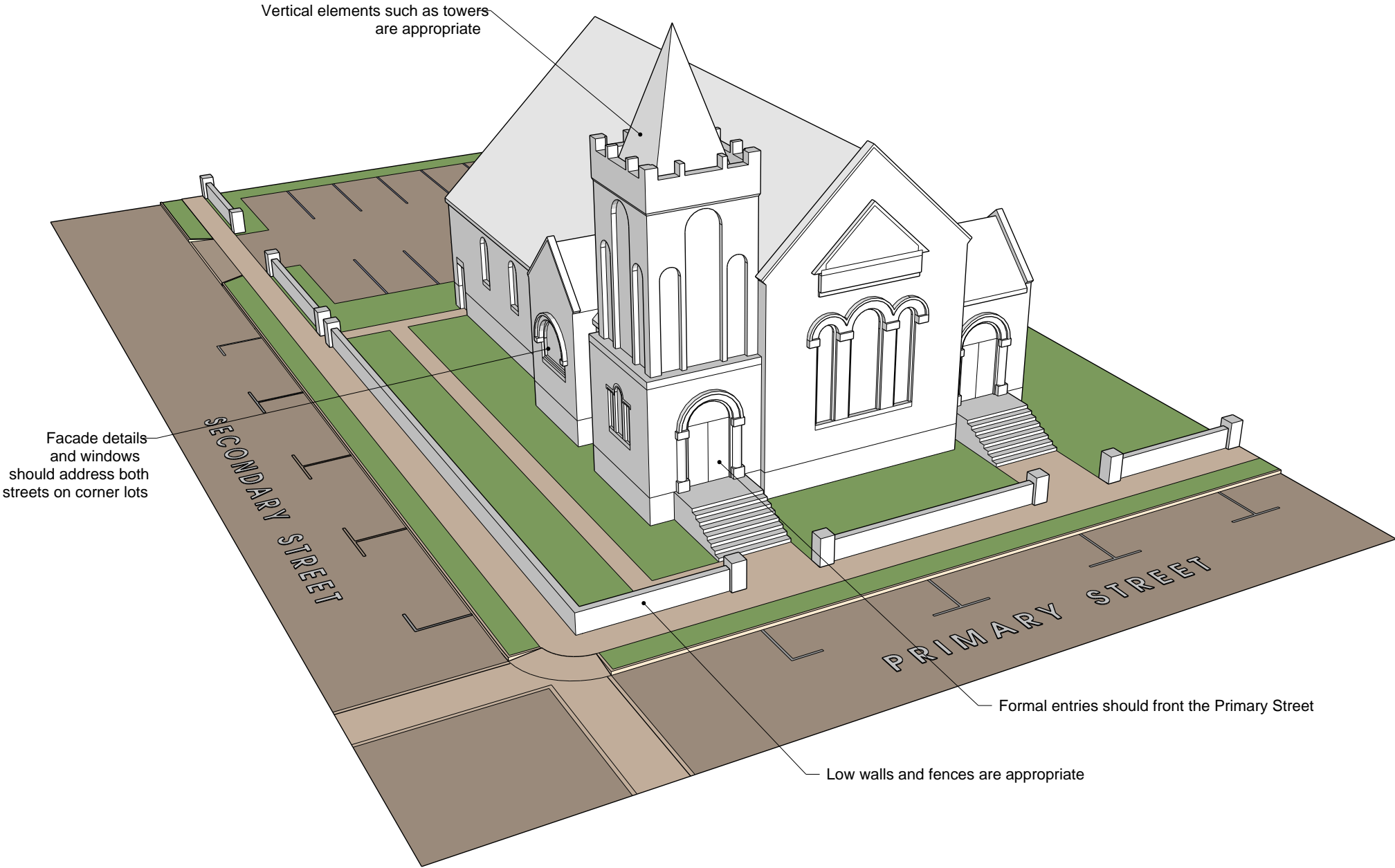
Height of Building

Building height shall conform to the requirements of the C-1, Central Business District as specified in Article V, Section 5.052.1.

Street Fronting Facades

100% of the facade width of any interior lot building shall conform to the following facade standards and guidelines. For corner lot buildings fronting both a primary and secondary street, the following facade standards and guidelines shall apply to both fronting facades of the building.

- Building facades shall be articulated into distinct facade bays proportioned vertically (no wider than they are in height). Articulations may be made with architectural elements such as columns and pilasters, wall projections and/or recesses and variations of materials and colors
- At least one primary building entrance should front the primary street with direct pedestrian access to the entrance



CIVIC & INSTITUTIONAL BUILDING STANDARDS AND GUIDELINES

Street Fronting Facades (continued)

- Reflective glass and dark tinted glass are discouraged

Roofs

- False mansard type roofs and overhanging fascia type roofs shall not be permitted
- Pre-engineered metal building roofs shall be concealed by a parapet wall fronting all streets

Materials (refer to pages 20-21 for complete listing)

- Materials, colors and textures should be compatible with historic buildings surrounding the Courthouse Square in Downtown Winchester
- Vinyl siding shall not be permitted
- Metal siding, stucco and E.I.F.S. are not permitted materials for cladding building walls and shall be limited to architectural detailing
- Historically detailed metal building panels are permitted as they are currently used on historic buildings in Downtown Winchester

Awnings and Canopies

- Awnings and canopies may only be applied over building entrances; upper story applications are not permitted
- Awning styles and shapes should be compatible with the character of the building and neighboring buildings
- Vinyl and metal awnings shall not be permitted; metal canopies suspended from the building structure are permitted
- Internally illuminated or "glowing" awnings are not permitted



This sanctuary building lacks appropriate massing detail; it presents a facade of large, flat, windowless walls and is surrounded by a large parking lot on all sides



This sanctuary building presents appropriate massing and architectural detailing that compliments a pedestrian oriented downtown; note the appropriate tower element at the street corner



This smaller scaled sanctuary building illustrates an appropriate relationship of the building to the street; note the appropriate simple massing, roof forms, window proportions and architectural detailing



This civic building lacks appropriate facade detailing and windows and is clad inappropriately with industrial metal siding and E.I.F.S.



This small public library building appropriately addresses the street with a formal entry; note the use of masonry and stone with appropriate architectural detailing that signifies that this is a public building



This municipal utilities office building lacks appropriate facade detail and inappropriately places the parking lot and drive-thru lane at the street corner; note the lack of a sidewalk on the secondary street



This college campus building has an appropriate architectural facade, massing and roof form; note that a deeper front building setback and landscaped front yard are appropriate for civic buildings



This public library building has appropriate architectural detailing and materials for downtown; note the deeper setback that creates a brick plaza at the main entry

BUILDING MATERIALS

The following standards and guidelines are intended to achieve appropriate usage of building materials in Downtown Winchester. Both appropriate and inappropriate building materials are presented by type of building: commercial and mixed-use, transitional, and civic and institutional.

APPROPRIATE COMMERCIAL & MIXED-USE

BUILDING MATERIALS

Appropriate Building Cladding (facade wall)

- Modular brick
- Painted modular brick
- Historically detailed metal panels
- Cut stone (ashlar pattern)
- Cultured stone (ashlar pattern)

Appropriate Windows and Doors

- Prefinished aluminum storefront system (ground floor only)
- Painted wood storefront system (ground floor only)
- Painted wood windows
- Painted steel windows
- Prefinished aluminum clad wood windows
- Clear or slightly tinted glazing
- True divided lites
- Simulated divided lites (permanent exterior profile grilles)
- Shutters and hardware sized to exactly fit window opening if/when closed

Appropriate Roofs

- Low-sloped roof systems with parapet walls on street-fronting facades

Appropriate Architectural Detailing

- Painted wood
- High density rigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable in standard wood trim sizes
- Quality-formed fiberglass (cornice and bracket details)
- Architectural metal panels
- Cut stone
- Cast stone

Appropriate Building Facade Lighting Fixtures

- Gooseneck style wall mounted fixtures
- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall sconce fixtures
- Decorative pendant fixtures, surface mounted fixtures and recessed can fixtures at recessed entries and covered porches and stoops

INAPPROPRIATE COMMERCIAL & MIXED-USE

BUILDING MATERIALS

Inappropriate Building Cladding (facade wall)

- Oversized brick
- Exterior Insulation Finish System (EIFS)
- Stucco
- Wood siding
- Metal siding
- Vinyl siding
- Concrete masonry units (CMU)
- Dry stack, rubble, river-stone and other rustic stone patterns
- Wood panels
- Concrete panels

Inappropriate Windows and Doors

- Vinyl windows
- Glass block
- Dark tinted, color tinted or mirror finished glazing
- Simulated divided lites integral to the glazing (between insulated glazing panels)
- Shutters lacking hardware and that are not sized to fit the window opening when closed
- Residential doors on ground floors

Inappropriate Roofs

- Steep sloped roofs
- Mansard-style roofs
- Spanish tile
- Wood shingle

Inappropriate Architectural Detailing

- Extruded polystyrene
- Vinyl trim

Inappropriate Building Facade Lighting Fixtures

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps
- Exposed neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes
- Fixtures that illuminate or “wash” the entire building facade

APPROPRIATE TRANSITIONAL BUILDING MATERIALS

Appropriate Building Cladding (facade wall)

- Modular brick
- Painted modular brick
- Historically detailed metal panels
- Cut stone (ashlar pattern)
- Cultured stone (ashlar pattern)
- Painted wood siding
- Cementitious and fiber cement composite siding (e.g. Hardie, Certainteed)

Appropriate Windows and Doors

- Prefinished aluminum storefront system (ground floor only)
- Painted wood storefront system (ground floor only)
- Painted wood windows
- Painted steel windows
- Prefinished aluminum and vinyl clad wood windows
- Clear or slightly tinted glazing
- True divided lites
- Simulated divided lites (permanent exterior profile grilles)
- Shutters and hardware sized to exactly fit window opening if/when closed

Appropriate Roofs

- Low-sloped roof systems with parapet walls on front facades
- Sloped roofs of asphalt or fiberglass composite shingles, standing seam metal, natural or synthetic slate, and shingle-styled concrete tile

Appropriate Architectural Detailing

- Painted wood
- High density rigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable in standard wood trim sizes
- Quality-formed fiberglass (cornice and bracket details)
- Architectural metal panels
- Cut stone
- Cast stone

Appropriate Building Facade Lighting Fixtures

- Gooseneck style wall mounted fixtures
- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall sconce fixtures
- Decorative pendant fixtures, surface mounted fixtures and recessed can fixtures at recessed entries and covered porches and stoops

INAPPROPRIATE TRANSITIONAL BUILDING MATERIALS

Inappropriate Building Cladding (facade wall)

- Oversized brick
- Exterior Insulation Finish System (EIFS)
- Stucco
- Metal siding
- Vinyl siding
- Concrete masonry units (CMU)
- Dry stack, rubble, river-stone and other rustic stone patterns
- Wood panels
- Concrete panels

Inappropriate Windows and Doors

- Vinyl windows
- Glass block
- Dark tinted, color tinted or mirror finished glazing
- Simulated divided lites integral to the glazing (between insulated glazing panels)
- Shutters lacking hardware and that are not sized to fit the window opening when closed

Inappropriate Roofs

- Mansard-style roofs
- Spanish tile
- Wood shingle

Inappropriate Architectural Detailing

- Extruded polystyrene
- Vinyl Trim

Inappropriate Building Facade Lighting Fixtures

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps
- Exposed neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes
- Fixtures that illuminate or “wash” the entire building facade

APPROPRIATE CIVIC & INSTITUTIONAL BUILDING MATERIALS

Appropriate Building Cladding (facade wall)

- Modular brick
- Painted modular brick
- Historically detailed metal panels
- Cut stone (ashlar pattern)
- Cultured stone (ashlar pattern)
- Painted wood siding
- Cementitious and fiber cement composite siding (e.g. Hardie, Certainteed)
- Wood panels
- Concrete panels

Appropriate Windows and Doors

- Prefinished aluminum storefront system (ground floor only)
- Painted wood storefront system (ground floor only)
- Painted wood windows
- Painted steel windows
- Prefinished aluminum and vinyl clad wood windows
- Clear or slightly tinted glazing
- Stained glass
- True divided lites
- Simulated divided lites (permanent exterior profile grilles)
- Shutters and hardware sized to exactly fit window opening if/when closed

Appropriate Roofs

- Low-sloped roof systems with parapet walls on front facades
- Sloped roofs of asphalt or fiberglass composite shingles, standing seam metal, natural or synthetic slate, and shingle-styled concrete tile

Appropriate Architectural Detailing

- Painted wood
- High density rigid polyurethane (HRP)
- Smooth surface composite or cellular PVC or comparable in standard wood trim sizes
- Quality-formed fiberglass (cornice and bracket details)
- Architectural metal panels
- Cut stone
- Cast stone

Appropriate Building Facade Lighting Fixtures

- Gooseneck style wall mounted fixtures
- Lantern style wall mounted fixtures
- Shielded floodlight fixtures
- Wall sconce fixtures
- Decorative pendant fixtures, surface mounted fixtures and recessed can fixtures at recessed entries and covered porches and stoops
- Fixtures that illuminate or “wash” the entire building facade

INAPPROPRIATE CIVIC & INSTITUTIONAL BUILDING MATERIALS

Inappropriate Building Cladding (facade wall)

- Oversized brick
- Exterior Insulation Finish System (EIFS)
- Stucco
- Metal siding
- Vinyl siding
- Concrete masonry units (CMU)
- Dry stack, rubble, river-stone and other rustic stone patterns
- Wood panels
- Concrete panels

Inappropriate Windows and Doors

- Vinyl windows
- Glass block
- Dark tinted, color tinted (except stained glass) or mirror finished glazing
- Simulated divided lites integral to the glazing (between insulated glazing panels)
- Shutters lacking hardware and that are not sized to fit the window opening when closed
- Residential doors on ground floors

Inappropriate Roofs

- Mansard-style roofs
- Spanish tile
- Wood shingle

Inappropriate Architectural Detailing

- Extruded polystyrene
- Vinyl Trim

Inappropriate Building Facade Lighting Fixtures

- High Intensity Discharge (HID) lamped fixtures with unshielded or exposed lamps
- Exposed neon tube (theaters are exempt)
- Wallpack lighting fixtures
- Exposed fluorescent tubes

BUILDING MATERIALS (CONT.)

SIGNAGE

Signage that supports a pedestrian friendly downtown is quite different than that found in more automobile oriented areas of the City and County. Large sign areas, tall sign heights and oversized graphics that are needed for legibility from longer distances and faster travel speeds along highway corridors are not appropriate in a downtown setting. Downtown Winchester is a place to visit; a destination. Its signage should creatively express business individuality within the downtown context and not strive to achieve individual dominance. Downtown signage should be scaled and crafted to predominantly advertise its message to pedestrians. This calls for a higher level of craftsmanship, quality materials and fine detail that is viewed up-close at a walking pace while also being legible from a slowly passing vehicle.

The Downtown Overlay District standards and guidelines for signage are intended to complement the existing signage regulations within this ordinance. Unless otherwise specified in these design standards and guidelines, signage shall be regulated by Article IV, Section 4.080 of this ordinance. The signage standards and guidelines are intended to regulate the quality, craftsmanship and placement of signage and introduce additional signage types that are appropriate for Downtown Winchester while prohibiting those that are detrimental to its character.

Although the signage standards and guidelines do not regulate content or message; it is recommended that signage within the Downtown Overlay District solely display the name, type of business and/or graphic logo associated with the particular business advertised. Phone numbers, business hours and other incidental information should be displayed with small storefront graphics and should not be displayed on primary business signs.

Signage permitted prior to the adoption of the Downtown Overlay District Design Standards and Guidelines is considered “Grandfathered” and shall not be required to conform to the standards and guidelines herein unless the existing sign is substantially improved or replaced. Any new signage within the Downtown Overlay District requiring a permit shall conform to the signage standards and guidelines.

Wall signs applied parallel to the building facade of multi-story buildings should be placed in the area between the head of the storefront windows and the sill of the second story windows (the so-called signage band). On single-story buildings, these wall signs should be placed in the area between the head of the storefront windows and the parapet wall or roof eave.



These signs are inappropriately located within the storefront opening



Signage with any portion above the eave or parapet of a building is inappropriate



Pole mounted signs and ground signs are inappropriate within the downtown overlay district



Signs painted on flat sheet metal, plastic or plywood and applied vinyl letters and graphics on solid backgrounds are inappropriate



Banners displaying a commercial message are inappropriate for Downtown Winchester unless used as temporary signage. Internally illuminated cabinet signs are also inappropriate.



Changeable copy signs are inappropriate except for theater marquees, fuel sales signs and for non-commercial civic and institutional uses.



Internally illuminated cabinet signs are inappropriate for Downtown Winchester. This sign's large size is also inappropriate as it is intended to be read from across a large parking lot and highway



This well-crafted sign is appropriately located in a horizontal band incorporated into the storefront entry



This simple shed awning is an appropriate awning style for Downtown Winchester; note the appropriate scale, coordinating color and the correct placement of the awning above the storefront entry



Well-crafted and modestly scaled bracket signs are appropriate for Downtown Winchester; note the appropriate three-dimensional routed lettering, sculpted graphics and coordinated bracket shape



Indirectly illuminated individual letters and graphics are appropriate types of wall signs; note appropriate placement above storefront



Sidewalk "sandwich board" signs are appropriate for café and restaurant uses so long as they do not impede pedestrian travelways



Indirectly illuminated blade signs are appropriate for upper floor placement only on building corners; note the appropriate scale and craftsmanship of the sign



Signage advertising upper floor businesses should be kept to a pedestrian scale and located near the entry to an upper floor stair or elevator lobby



These vinyl applied window graphics are appropriately crafted and scaled for the storefront; window graphics should not impede views into the storefront

SIGNAGE

Signage Types Prohibited:

- Pole signs or banjo signs of any height
- Ground signs for buildings setback less than 25 feet from the front property line; sign must be located outside of the public right-of-way
- Ground signs more than 6 feet in height
- Signs with changeable copy or letter boards displaying a commercial message (Civic and Institutional uses, theater marquee signs and fuel sales signs are exempt)
- Internally illuminated cabinet signs and pan-formed signs
- Adhered vinyl letters, numbers or graphics used for an exterior sign application (window graphics applied to storefront glazing are exempt)
- Vinyl or fabric banners displaying a commercial message (temporary signs are exempt)
- Signs using fluorescent or "day-glo" colors
- Internally illuminated awnings
- Electronic message boards used for commercial advertisement (civic and institutional uses and fuel sales are exempt)
- Signage with any portion located above the eave or parapet of a building
- Flashing or intermittent illumination signs
- Window posters, temporary advertisements or other signs individually or collectively covering more than 25% of the total interior or exterior storefront glazing area of a business

Additional Signage Types Allowed:

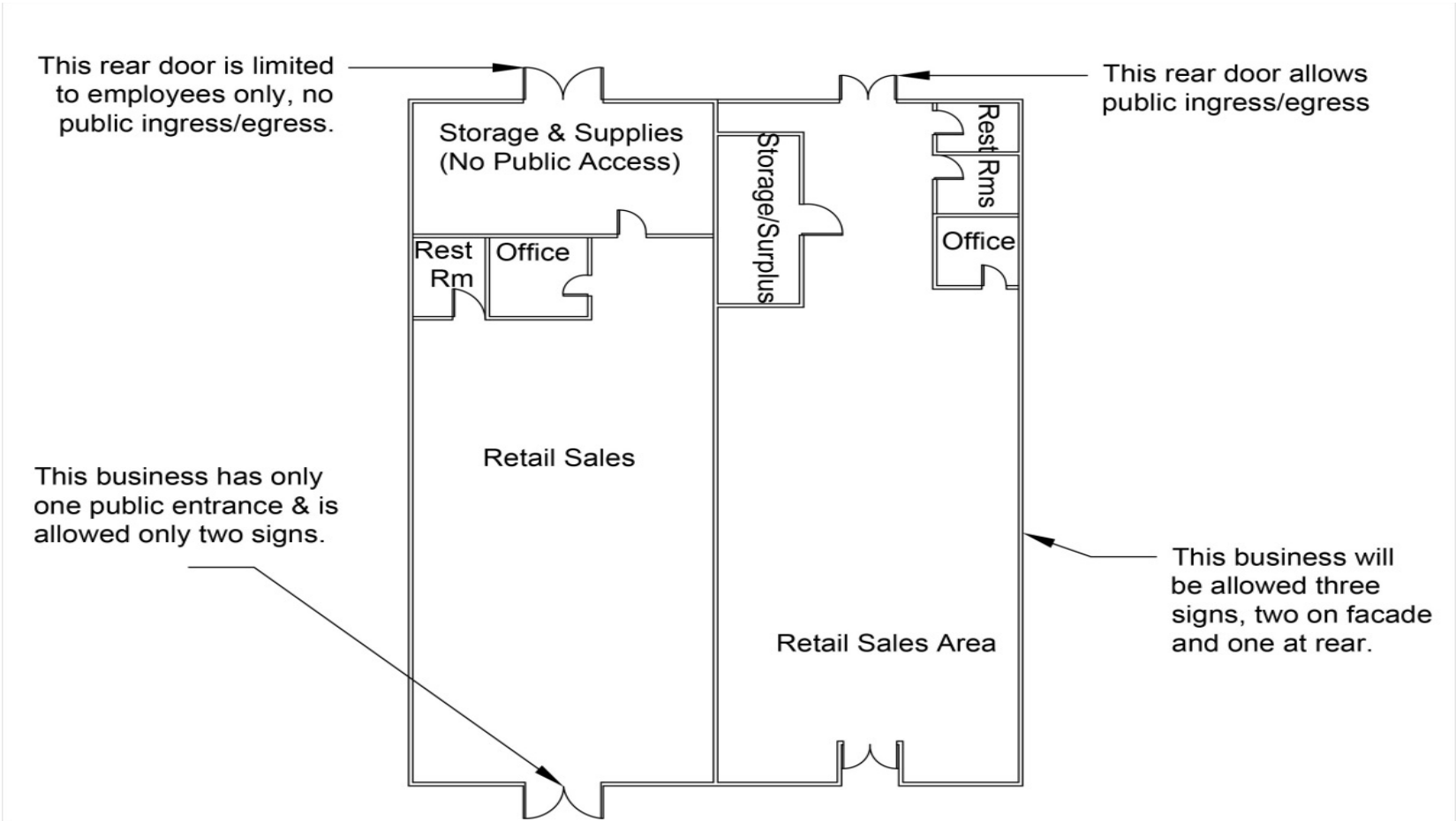
- Painted and/or applied window graphics and letters
- Signs hanging from brackets mounted perpendicular to the building wall no less than 9 feet from grade to bottom of sign
- Wall signs or flat signs (also commonly known as blade signs) projecting perpendicular from the building facade no less than 9 feet in height from adjacent grade to bottom of sign; only located at building corners and top of sign no higher than the finished floor level of 3rd floor
- Wall mounted restaurant menu cabinets (4 square feet maximum)

Limitation Upon Number and Area of Signs

- Signage in the Downtown Overlay District shall be limited to a maximum of two (2) business signs per front façade of each business, subject to an exception for businesses having ingress/egress points on multiple sides.
- When such business has an entrance/exit door or passageway to the rear or side, and that door or passageway is open for public use as a standard means of ingress and egress for the business, additional signage shall be allowed. Upon such instance, the total number of signs may be increased to three (3) with no more than two (2) of those allowed signs being displayed on the front facade. The third sign location shall be located on the same side of the passageway for which the exception is granted. Any such passageway must be connected directly with the outside and cannot lead from one section of the building to another, such as through an inventory area, kitchen, break room or any similar area that is not open for public use. Such passageway shall not restrict pedestrian traffic nor be designated as a shipping, receiving, employee only, or emergency only passageway. At no time shall a single business located within the confines of the Downtown Overlay District be allowed more than business signs unless one of the following circumstances is applicable.

Exceptions:

- 1) Franchised Business: Exception shall be granted for businesses operating under the guidelines of a licensed franchise, when the failure to follow a franchise mandated advertising program shall result in the loss of franchise privilege.
 - 2) Food Store Market: Exception shall be granted for such business specializing in the marketing and sale of food and food related products including non-prepared meats, poultry, produce, dairy products, canned goods, household goods, frozen food and such products often bought for later use by a household.
- Ingress/Egress doors and passageways utilized for access to residential upper story living quarters shall not be considered a public access way and may not be considered for the purpose of allowing an additional business sign.
 - The total area of all signage will not exceed ten (10) percent of the façade area as measured in square feet.
 - No individual sign shall exceed thirty-two (32) square feet in area.
 - The following will not be considered as a business sign for the purposes of this section:
 - 1) Open/Closed postings
 - 2) Hours of Operation Postings
 - 3) Street Address Postings



The business on the left is limited to two signs on the façade of the building. The business on the right would be allowed two façade signs plus a sign on the side of the public ingress/egress door to the rear.

Definitions

Building Area: The portion of a lot that is available for a building footprint as regulated by the site standards and guidelines herein and by the rear and side lot setbacks as regulated by the base C-1 zoning; the building area includes the build-to zone

Build-to Zone: The portion of a lot delineated by the maximum distance a building may be setback from the edge of the pedestrian zone

Cabinet Sign: A sign that contains all the text and/or logo symbols within a single enclosed cabinet and may or may not be illuminated

Certificate of Compliance (COC): Written approval from the Design Review Commission to the City of Winchester Building Codes Department and Planning Commission stating that an application has been reviewed and either complies with the Downtown Overlay District Design Standards and Guidelines or complies with attached written conditions

Civic & Institutional Building: A form of building intended to be used for public services, governmental agencies, public or private schools, museums, public gathering and places of worship

Column: A supporting pillar consisting of a base, a cylindrical shaft, and a capital

Commercial & Mixed-Use Building: A form of building with a ground floor use intended for retail sales, restaurants, office, or hospitality as permitted in the C-1 zoning district and that may have multiple-stories of upper floor uses as permitted in the C-1 zoning district

Cornice: Any crowning projection detail on a building facade

DRC: Design Review Commission

EIFS: Exterior Insulation Finish System

Facade: The exterior face of a building which is the architectural front; each lot frontage has a facade including the side dimension of a corner lot

Facade Bay: An architectural term used to describe an individual portion of the overall horizontal building facade as delineated by vertical architectural elements, variations in building materials and colors or variations in wall planes

Facade Base, Shaft and Cap: Architectural terms used to describe vertical building segments as likened to the elements of a classical column order

Liner Building: Occupiable building area used to screen utilitarian site uses such as parking garages from views from streets or public areas

Mansard Roof: A roof with two slopes, the lower almost vertical to allow extra roof space for attic rooms

Overhanging Fascia Roof: A roof having a fascia that cantilevers out beyond the building facade to create a covered area

Pan Formed Sign: A sign type manufactured by vacu-forming plastic sheets over a mold into a pan form that may include embossed lettering and graphics that are typically internally illuminated

Parapet: A low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, battlement, balcony, etc.

Pedestrian Zone: The portion of a lot and/or public right-of-way between the street and the building intended for pedestrian travel and activity

Pediment: A triangular gable across a portico, door or window; any similar triangular decorative piece over a doorway, etc.

Pilaster: A shallow rectangular column projecting only slightly from a wall

Primary Street: The street a lot adjoins that is considered by the Design Review Commission to be the principal frontage street of the lot; interior lots will only front a primary street

Primary Building Entrance: A building entry accessed directly from the pedestrian zone along a primary street; corner lots may have a primary building entrance located at the building corner

Secondary Street: The street a lot adjoins that is considered by the Design Review Commission to be the side frontage street of the lot; only applies to lots with frontage along two or more streets

Sill: A shelf or slab of stone, brick, wood, or metal at the foot of a window or doorway

Streetscape: The visual elements of a street, including the road, adjoining buildings, street furniture, trees and open spaces, etc, that combine to form the street's character

Transitional Building: An intermediate scale form of building intended to transition the scale of larger commercial and mixed-use buildings to smaller buildings surrounding the Downtown Overlay District; permitted uses include those in the C-1 zoning district

WDPC: Winchester Downtown Program Corporation

Vertically Proportioned: The physical ratio of a defined facade element where the measurement of height is no less than one and one-half the measurement of width

Image Credit

Page 22 - Top row, middle column:

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AMENDMENTS TO APPENDIX A – DOWNTOWN OVERLAY DISTRICT DESIGN STANDARDS & GUIDELINES

Description of Action	Ordinance No.	Final Reading	Effective Date	Notes or Comments
Original Publication and Adoption	928	Aug. 09, 2011	Aug. 10, 2011	
Image Credit Copyright Acknowledgement Added & Cover Modified	-	-	Feb. 14, 2012	
Added Limitation Upon Number and Area of Signs Within Overlay District	971	Nov. 11, 2014	Nov. 12, 2014	Ord. 971 was a modification of Ord. 964 which failed to pass on second reading